

# LA PASTORALE

HOMEOWNERS ASSOCIATION

## **ARCHITECTURAL GUIDELINES**

**As accepted at the Annual General Meeting on 21 May 2025 after the completion of the electronic voting**

**Municipal Reference – Erf 12913**

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## 1. **GENERAL NOTES**

The building, architectural and landscaping guidelines and conditions are imposed to allow the appropriate use of the Township Area and to preserve the rural ambience of the upper Paradyskloof environment, in the interest of members of the La Pastorale Homeowners Association.

While freedom of individual expression is permitted within the illustrated "style" of architecture (refer site development plan "B" and elevations and perspective "C"), this is necessarily limited by those controls which are considered to be mutually advantageous to all members. In general, the aim of the guidelines and conditions is to avoid harsh contrasts and to encourage careful design to create harmony between the buildings and their sites, as well as among the buildings themselves. Within these parameters a group identity is sought with acceptable variations wherein single storey pitched roofs associated with typical Cape Colonial farm buildings is married to a simplified version of the traditional Cape double storey townhouse.

In order to achieve these objectives, it is hereby recorded that all members shall in terms of the powers conferred on EXCOM (see Constitution paragraph 7.6), be bound by the conditions set out below:

## 2. **BUILDING PLAN APPROVAL PROCESS**

Before building plans are submitted to Stellenbosch Municipality, it is to be submitted to the La Pastorale Home Owners Association at [BuildingMaintenance@LaPastorale.co.za](mailto:BuildingMaintenance@LaPastorale.co.za) for approval. A fee of R2 500 will be payable by the homeowner to the architect consulted by EXCOM. Additional fees may be charged should the plans require further work.

To avoid a conflict of interest, rules are set out for instances where either the architect, or the owner for whom plans are drawn up, is a member of the La Pastorale EXCOM the following rules apply:

If the architect of the proposed project serves on the EXCOM and is tasked with approving building plans on behalf of the EXCOM, he/she shall be replaced by 2 other members of the EXCOM in the approval process for the specific project.

If the owner of the proposed project serves on the EXCOM and is tasked with the approval of building plans on behalf of the La Pastorale EXCOM he/she has to be replaced with 2 other members of the EXCOM in the approval process.

If both the architect and the owner of the proposed project serve on the EXCOM and are tasked with the approval of building plans on behalf of the EXCOM they have to be replaced with 3 other members of the EXCOM in the approval process for the specific project.

PDF drawings may be submitted for signing to prevent unnecessary printing costs in the event that amendments need to be made to plans before approval.

All drawings can now be submitted electronically. A pdf copy with the HOA stamp will be returned to the owner on approval.

Drawings are will only be considered for approval by the Stellenbosch Municipality after review and approval of the drawings by the La Pastorale HOA.

Any alterations/additions to the drawings after approval need to be resubmitted to the HOA before building work on the amendments are carried out.

Summary:

- Digital set of drawings to be submitted for formal review and approval by La Pastorale EXCOM with payment of R2 500 by the homeowner to the architect consulted by EXCOM.
- La Pastorale EXCOM approves the digital set of final drawings for submission to Stellenbosch Municipality.
- Approved drawings submitted to Stellenbosch Municipality for approval. Submission forms, neighbour's consent forms etc are available from the building department at Stellenbosch municipality.
- Building work may only commence once plans are approved by the Stellenbosch Municipality.

### 2.1 **INSTANCES WHERE NEIGHBOURS CONSENT NEED TO BE OBTAINED**

In instances where an applicant applies for the relaxation of any of the town planning regulations i.e. building line encroachments, a letter of no objection needs to be obtained from all affected neighbours. Affected neighbours are those properties situated adjacent to the encroachment

applied for. In the event of a street building line encroachment, property owners across the street will also need to provide a letter of no objection. A standard letter of no objection can be obtained from Stellenbosch Municipality.

Where no deviation from the town planning regulations are applied for, there is no need to consult with neighbouring properties.

All applications for deviations from the town planning regulations will be reviewed by the HOA after letters of no objections are obtained from affected property owners.

### **3 BUILDING REGULATIONS:**

#### **3.1 Town planning Controls**

##### **3.1.1 Building Size:**

A minimum size of 120m<sup>2</sup> for any dwelling including garage is permitted.

##### **3.1.2 Building Line and coverage**

The following building lines, coverage and height shall apply to all buildings within this zone:

<b>Area of land unit</b>	<b>Street boundary building lines (m)</b>	<b>Common boundary building lines (m)</b>	<b>Coverage</b>	<b>Height</b>
<b>Up to 250m<sup>2</sup></b>	2m	1m (see 2(e) below)	70%	2 storeys - 7meters above NGL
<b>251m<sup>2</sup> to 500m<sup>2</sup></b>	3m	1m	The greater of 175m <sup>2</sup> or 60%	2 storeys - 7meters above NGL
<b>501m<sup>2</sup> to 1500m<sup>2</sup></b>	4m	2,5m (see (2(c) below)	The greater of 300m <sup>2</sup> or 50%	2 storeys - 7meters above NGL
<b>Greater than 1500m<sup>2</sup></b>	4m	2,5m (see (2(c) below)	The greater of 750m <sup>2</sup> or 40%	2 storeys - 7meters above NGL

(1) The following additional parameters apply in respect of building lines:

- (a) garages and carports are permitted 0 meters from the common boundary provided that the wall on the common boundary is no higher than one storey, the height of the entire garage may not exceed one storey and no stormwater may be discharged directly from the building roof onto the neighbouring property other than the adjacent public or private road;
- (b) the common boundary building lines for buildings and structures on the ground floor shall be deemed to be automatically relaxed if the neighbouring owner of the land unit or land units of the shared abutting common boundary grants permission in writing by signing both the relaxation form as prescribed by the Municipality and the accompanying building plan. Such relaxation may not be closer than 1meter from the common boundary. If the proponent is unable to obtain the written permission for any reason whatsoever, an application for departure may be duly submitted to and considered by the Municipality;
- (c) notwithstanding the building lines in this section, the Municipality may require a common boundary building line and/or servitude for the protection of any municipal services provided along land unit boundaries;
- (d) notwithstanding the building lines in this section, a 5 meter building line is required where the street boundary abuts a proclaimed road;
- (e) notwithstanding the building lines in this section, the regulations promulgated in terms of the National Building Regulations may require greater setbacks from common boundaries for

fire safety purposes, in which case such greater setbacks will prevail over this Scheme.

## **3.2 Building elements**

### **3.2.1 Walls**

Walls are to be constructed using traditional masonry construction with brick and mortar. No lightweight steel or timber structures are allowed

Walls are to be smooth, wood float, plastered. No roughcast or patterned plaster effects will be allowed.

Cladding on walls is subject to the approval of the HOA, but as a rule should be limited to using natural materials in stone and timber.

Please refer to the La Pastoral Paint Guidelines for accepted colour schemes - all colours will have to be submitted prior to painting even when chosen from previously accepted colour schemes.

### **3.2.2 Windows and Doors:**

Pre-painted aluminium or painted timber windows and doors are allowed.

1:1.6 width to height proportions are recommended for windows. Horizontal strip windows are not recommended.

Glazing to be clear float, safety- or low-E glazing. No Colour laminate glazing, except white, is permitted.

Window Dressing: Shutters, external louvers and awnings are not recommended and subject to approval by the HOA

Windowsills and window plaster moulding should be plastered and painted to an accent colour as per paint specification document

### **3.2.6 Boundary walls, Screens and Fences:**

The height of any wall or fence shall be as follows:

- on a street boundary: no more than 1,8 meters high;
- on a common boundary: no more than 2,1 meters high.

On a street boundary at least 50% of the area of the boundary wall, including gates, shall consist of visually permeable sections.

The general development parameters relating to boundary walls and fences in section 23 of the Stellenbosch zoning scheme regulations shall also apply.

Boundary walls are to be constructed using traditional masonry construction with brick and mortar.

Palisade fencing in combination with masonry walls will be considered.

No Prefabricated walling system, sheet materials or absorbed wire are permitted.

Garden walls should generally be low except where the screening of yard spaces is required.

Yard walls may not exceed 1.8m in height measured from the high side.

Boundary walls on Paradyskloof Road and against the road giving access to Anesta/Eden are 220mm plastered and painted (white) wall, 1800mm high with traditional (upside down V-shape) plastered coping at top.

### **3.2.7 Swimming Pools:**

It is the responsibility of homeowners with swimming pools to ensure that all swimming pools are enclosed from public areas.

If the swimming pool is situated inside the walled perimeter of a property a self-closing or self-latching gate should be installed in the perimeter wall.

If the swimming pool is not located within a walled property it should be fenced with a self-closing, self-latching gate in the fence.

**3.2.8 Antennae, pipes and cables:**

Projecting television or radio antennae should be limited and the location thereof, if potentially in view of any member, must be approved by EXCOM. All telephone and electrical reticulation on the properties is to be by means of underground cables. No flagpoles, masts or any other overhead wires are permitted.

**3.2.9 Service facilities**

Gas cylinders, refuse bins, compost piles, washing lines and air conditioning units, should be screened within service yards so as not to be visible from the internal streets or the first floor of neighbouring dwellings.

**3.2.10 Pergolas, Carports and Decks**Pergolas:

For the purposes of this document Pergolas are structures constructed from a combination of timber or steel beams over a series of columns constructed using timber steel or masonry. CCA treated pine poles are not allowed.

Pergolas may not be covered by shade netting, metal sheeting or any other form of waterproofing or shading membrane.

Pergolas may be covered in vines or other climbing plants as long as they are maintained on a regular basis.

Pergolas may be painted in the same colours applied to the main residence or in the case of Timber be treated with clear sealants or left raw in the case of hardwoods. Timber types to be submitted to HOA for approval before installation of raw or clear coated structures.

Carports:

Carports are structures with a solid roof or shade net covering and are not allowed in La Pastorale.

Decks:

Timber, tiled or other hard surface decks are allowed if it adheres to National building regulations and if approved by the HOA.

**3.2.11 Electric Fences**

Electric fences may be erected in accordance with the following conditions:

- 1) The homeowner is responsible for liaising with his immediate neighbours and agreeing a solution that suits both parties.
- 2) The homeowner undertakes to maintain their fence in good order and to ensure ~~so~~ that it doesn't get triggered unnecessarily by branches, rain etc. and cause a nuisance to neighbours
- 3) The homeowner and not the La Pastorale Homeowners Association will be held responsible if any adult or child or animal is inadvertently injured when coming into contact with the fence.

**3.2.12 Renewable energy solutions, Rain water storage and Recycling:**

Renewable energy solutions for new and existing homes are encouraged.

The following shows 2 alternatives to solar heating solutions as a guideline. With new products becoming available these examples act merely as a guide to inform Architects and Designers.

**Two Piece system for pitched roofs:**

High pressure two piece system with the heating panel outside on the pitched roof, and the special solar **geyser being inside the roof** is proposed.

The installed panels should not be visible from the road side (eye level). Consider your neighbours as the panels may reflect sunlight. Also keep in mind that trees and other obstructions will affect the performance of your system.

**Two piece or close coupled system on a mounting frame for Flat roofs with Parapets:**

High pressure two piece or close coupled systems, mounted on metal frames are advised for installation onto flat or low pitched roofs which are screened by parapet walls.

The installed panels should not be visible from the road side (eye level). Consider your neighbours as the panels may reflect sunlight. Also keep in mind that trees and other obstructions will affect the performance of your system.

**Rainwater storage solutions:**

Where possible all rainwater tanks and storage systems should be screened from street and neighbouring views or otherwise set back as far as possible from the front of the property.

**3.2.13 Generators:**

Placement:

The generator must be placed so that it is not visible from the street or the ground floor of neighbouring properties.

Noise:

The impact of the noise of the generator on neighbours must be minimised:

- a) Generators may only be operated between 06H00 and 22H00.
- b) It must be equipped with a good silencer and proper soundproofing.

Safety Aspects:

It is highly recommended that the installation of the generator is done by a qualified electrician as it produces the same voltage as municipal power outlets and can be deadly if connected and / or operated incorrectly.

The generator needs to be well ventilated as it produces fumes similar to a car engine when running. It cannot be installed in an enclosed space such as a garage or a store room unless the garage or room is equipped with an industrial extractor that will automatically switch on when the generator is switched on.

For portable generators the gas outlet must not be at the same side as the handles – this will prevent burns when the generator is put away.

Care must be taken with the storage of petrol or diesel for the generator as these are highly inflammable materials.

**3.2.14 Spotlights:**

Permanent spotlights should only be allowed when facing “high risk” areas such as vineyards or large open spaces next to a property

Spotlights facing a neighbouring property should only be activated upon movement

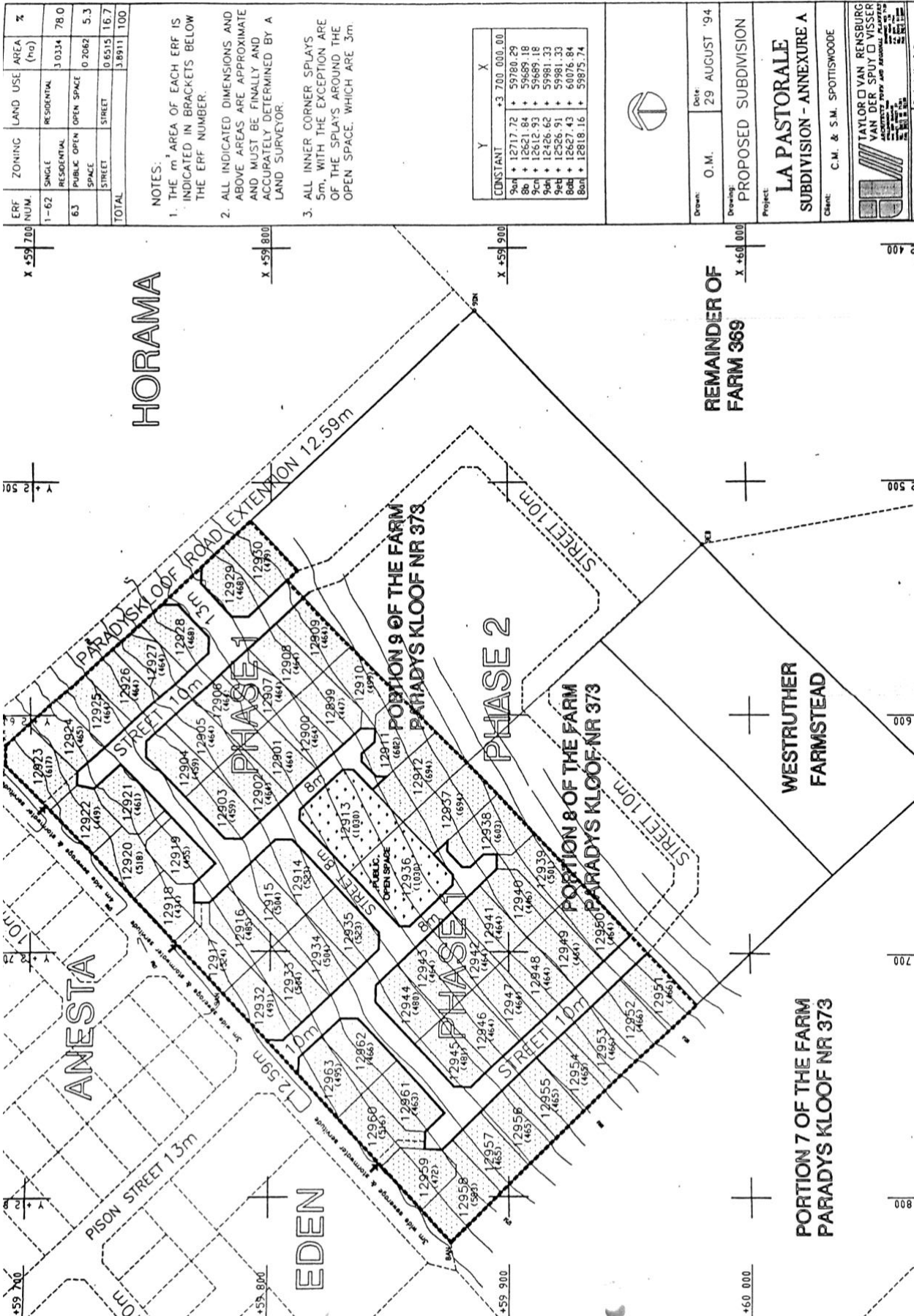
**4 AMENDMENTS TO THE ARCHITECTURAL GUIDELINES**

Any amendment or addition to the architectural guidelines, may be effected by a resolution passed

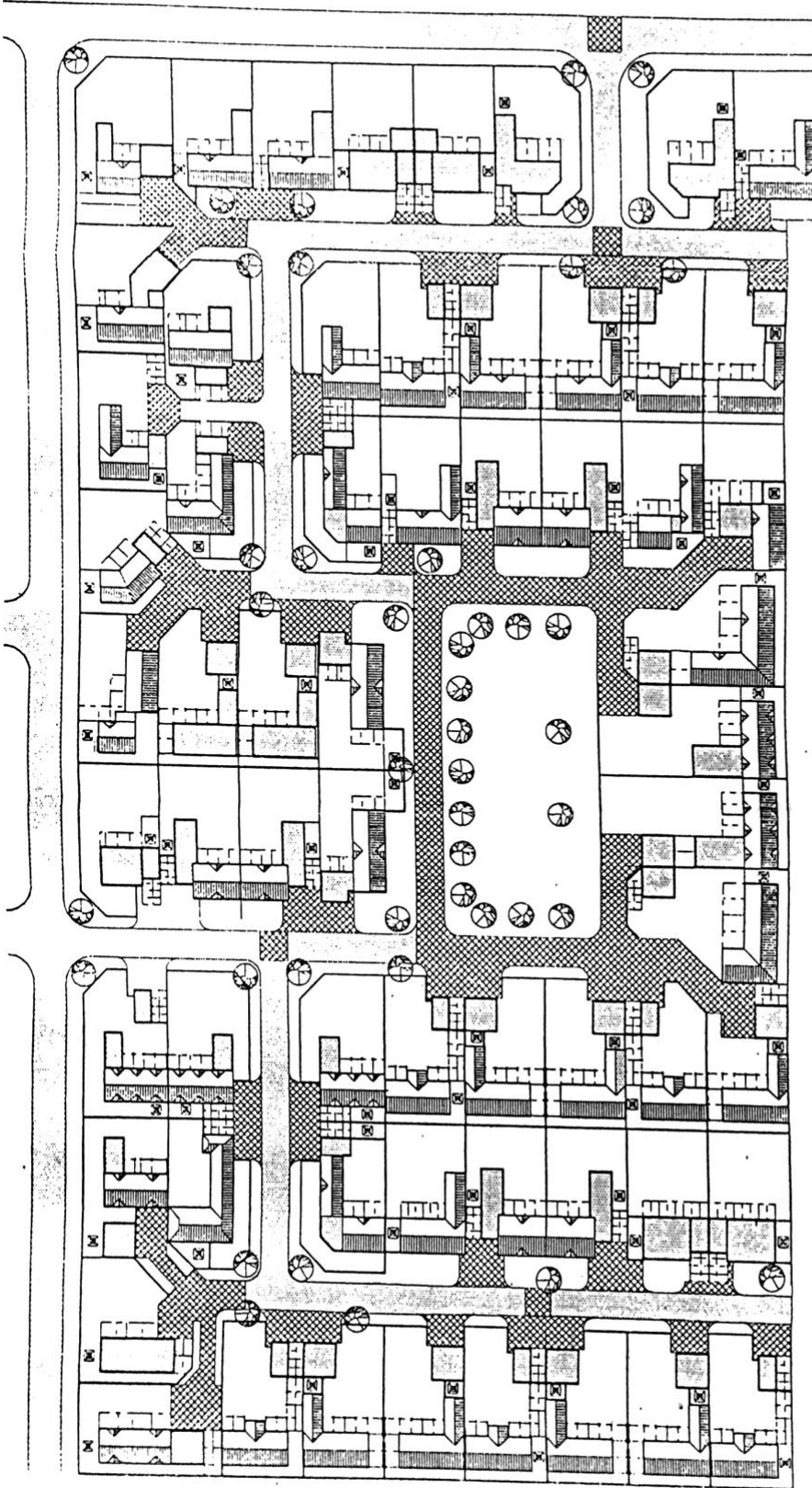
by at least a TWO-THIRD majority, of the attendees and proxies, at a General Meeting provided that a quorum is present, after written notice thereof setting out such amendment or addition in full, has been given in the notice calling the meeting. The new rules will be applicable to all members of the association from the day the resolution is passed.



3 ANNEXURE A - SUBDIVISION

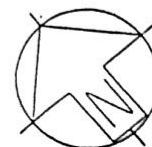


4 ANNEXURE B – SITE DEVELOPMENT PLAN

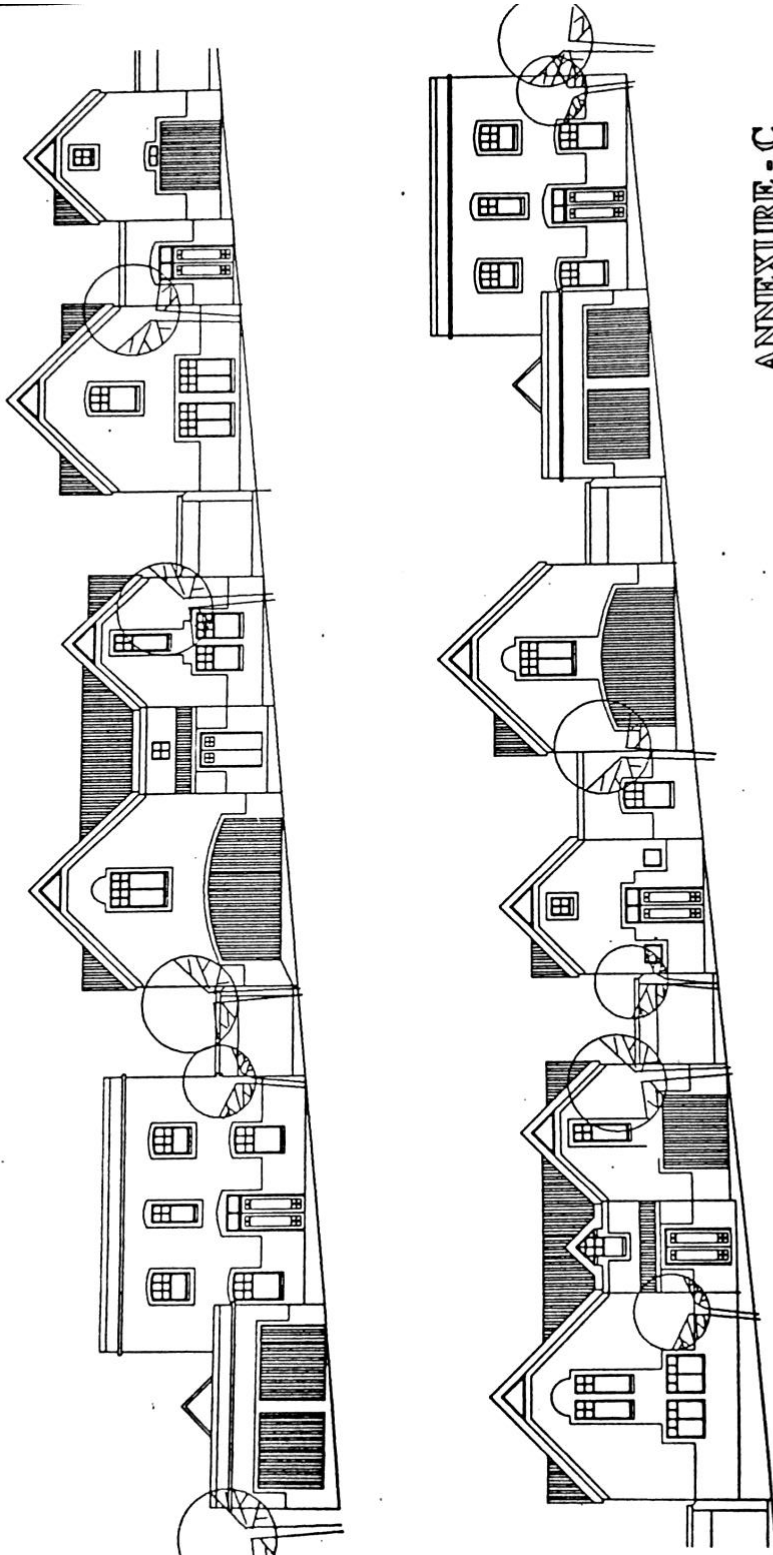


LA PASTORALE  
SITE DEVELOPMENT PLAN - ANNEXURE B

  
TAYLOR ■ VAN RENSBURG  
VAN DER SPUY ■ VISSER  
ARCHITECTS TOWN AND REGIONAL PLANNERS



5 ANNEXURE C – TYPICAL ELEVATIONS



ANNEXURE - C  
TYPICAL ELEVATIONS

LA PASTORALE


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