



ANNUAL GENERAL MEETING 31-05-2017

MINUTES OF THE MEETING

1. WELCOME

The Chairman, Ms Annette Verwey, opened the meeting and thanked everyone for making the effort to attend.

2. ATTENDANCE

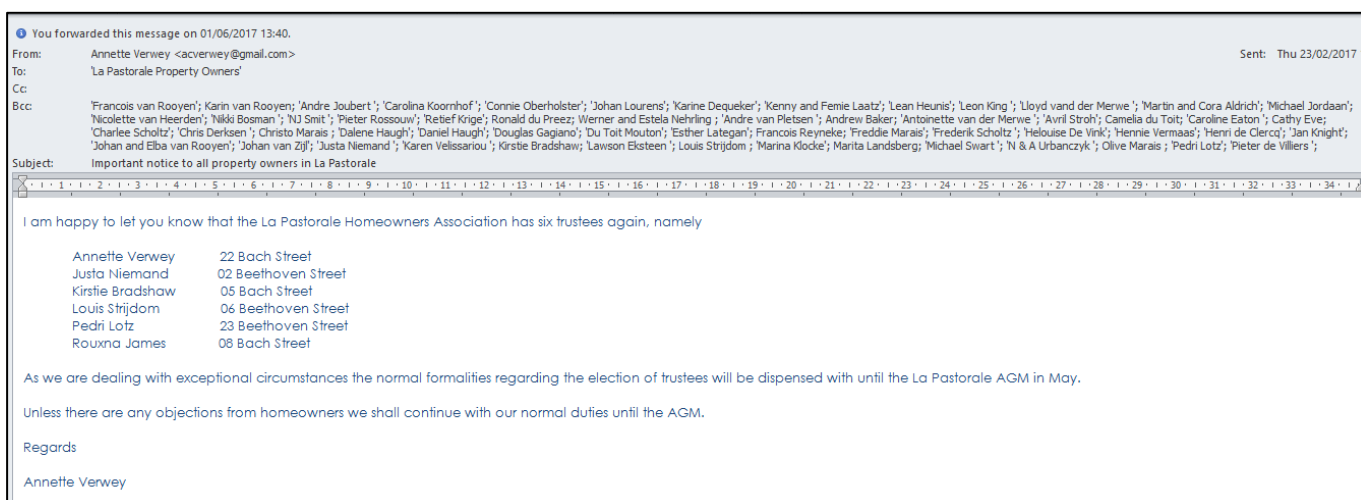
11 Homeowners signed the attendance register and, taking into account the 20 proxies received, a quorum was declared. While the trustees are thankful for the large number of proxies, better attendance in future will be appreciated.

3. CONCERN REGARDING THE CONSTITUTIONALITY OF THE TRUSTEES AND THE AGM

Prior to the approval of the previous minutes Mr Michael Swart raised an objection that the trustees were not elected according to the constitution and that the AGM therefore was also unconstitutional.

This stemmed from the fact that all the trustees resigned in November 2016 when the impact of the Community Schemes Ombud Service Act was unclear and then volunteered their services again in February.

Once the emails that went out to all La Pastorale homeowners to (1) inform them that all the trustees had resigned and then to (2) inform them that there are trustees again, albeit not elected according to the constitution, were raised and the second email read, Mr Swart agreed to let the meeting continue.



4. ELECTION OF THE TRUSTEES

Nominations for the Executive Committee were received and the following trustees were duly elected for the coming year:

Ms Annette Verwey
Ms Kirstie Reyneke
Mr Louis Strijdom
Ms Rouxna James

The Chairman and secretary will be elected at the next EXCOM meeting.

Please note that according to the constitution a minimum of five trustees is required and that there is currently one too few. Unfortunately no other homeowners are prepared to serve in this position.

5. APPROVAL OF PREVIOUS MINUTES

The previous minutes were approved.

6. CHAIRMAN'S REPORT

The Chairman's report was accepted with no questions.

7. APPROVAL OF FINANCIAL STATEMENTS

The Financial Statement were approved and signed.

8. APPOINTMENT OF AUDITORS AND DOMICILIUM CITANDI

The auditor, Mr Ryal de Waal was thanked and was appointed to draw up the financial statements for the 2017/2018 financial year.

The Domicilium citandi is Wilma Dobie at 14 Mozart Street, La Pastorale, and Stellenbosch 7600

9. STATE OF THE NEIGHBOURHOOD

Photographs were shown to illustrate that:

- 1) The approach to La Pastorale compares very badly with other estates in Paradyskloof in terms of:
 - Name board
 - Signboards at the entrance
 - Perimeter pavements bordering Houtkapper and Paradyskloof Streets
 - Perimeter wall

Most properties in La Pastorale are well cared for and attractive, but there are some than can be improved:

- 2) Some gardens require attention:
 - This is not referring to gardens that look tired because of the severe drought, but rather to lifting paving, rubbish bins in view of passers-by and shade nets over gates etc.
- 3) Some properties require repainting:
 - Garage doors
 - Garden walls
 - Staircases
 - White plaster bands
- 4) Parking remains a big issue:
 - Illegal and dangerous parking
 - Unsightly parking in front gardens

10. PROPOSED ACTIVITIES:

The trustees received permission to continue with the following activities in order of priority and practicality:

- 1) To amend the constitution to enable the trustees to enforce La Pastorale rules and guidelines and also to support La Pastorale in any dispute that may be referred to the Community Schemes Ombudsman.
- 2) To improve the areas for which the HOA is responsible:
 - Demarcate parking places for guests round the three sides of the La Pastorale garden and erect signboards to indicate the parking area for guests and the parking rules.
 - Replace the La Pastorale name board on the corner of Paradyskloof and Houtkapper streets.

- Replace the signboards at the entrances.
- Landscape the pavement on the perimeter of La Pastorale i.e. bordering Houtkapper and Paradyskloof Streets using a water-wise solution.
- Paint the perimeter walls

3) To encourage owners to improve their properties where required.

11. APPROVAL OF THE USE OF EXISTING FUNDS:

Bank Accounts as at 30-04-2017:

ABSA Money Market Account	R 150 124.48	
Retained Income		R 106 386.68
2001 Security Levy		R 43 737.80
Cheque Account	R 10 530.52	
Total	R160 655.00	

The 2001 security levy will become part of the retained income.

Expenditure of $\frac{2}{3}$ of the retained income will be allowed to improve the state of the neighbourhood. $\frac{1}{3}$ will be retained for unforeseen expenses.

12. APPROVAL OF THE INCREASE OF THE ANNUAL LEVY

The annual levy will be increased from R900 to R960 per annum.

14. APPROVAL OF ADDITIONAL LEVIES IN THE 2017-2018 FINANCIAL YEAR

A one-time payment of R750 will be levied on all homeowners in August to contribute towards the cost of upgrading the perimeter pavements.

Another one-time payment of R750 will be levied on all homeowners in October to contribute towards the cost of upgrading the perimeter pavements.

Please note that these dates are the earliest possible dates, depending on the practicalities it may be moved out to later.

Mr Bernard Lategan asked for it to be noted that he does not support these levies.

15. APPROVAL OF THE BUDGET

The budget was approved

16. GENERAL

Mr Ronnie Lambert raised two issues:

- **Parking**
He was not clear about the parking regulations and the trustees offered to send him a copy of the regulations.
- **Municipal Tree Pruning**
He wanted to have trees on his pavement pruned to lower the tree and the municipality was not prepared to assist. The trustees promised to contact the municipality to clarify the matter.